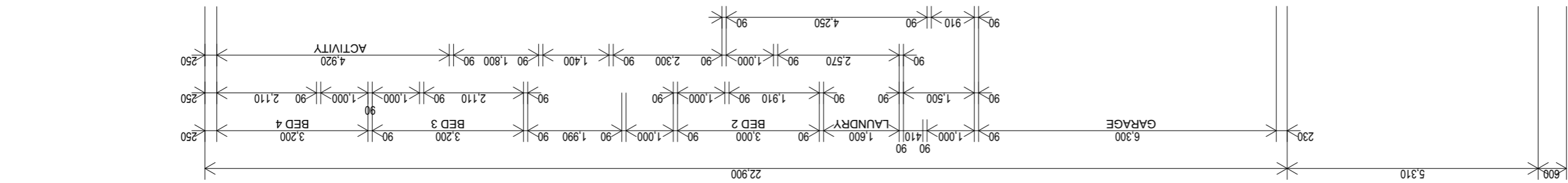
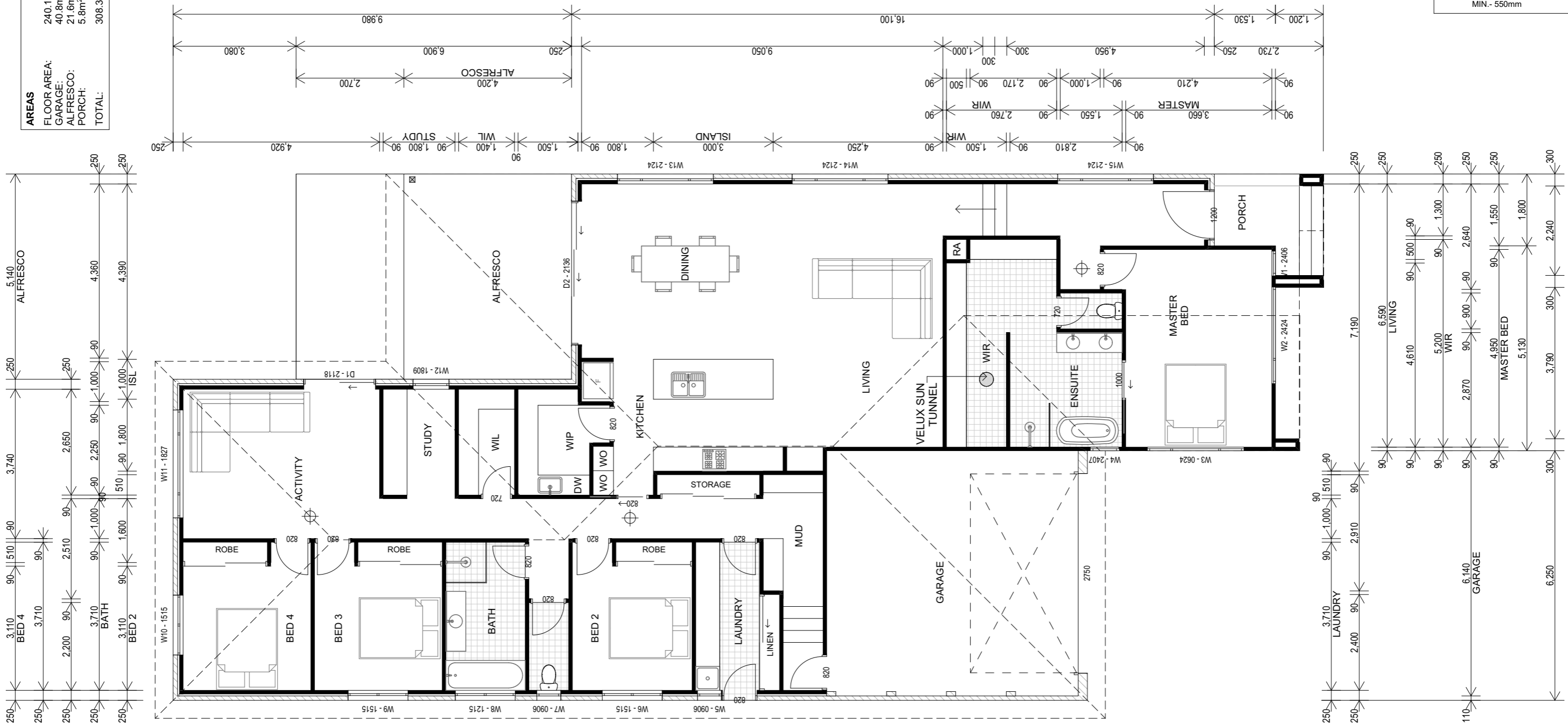


<b>AREAS</b>	240.1m <sup>2</sup> (25.8sq)
FLOOR AREA:	40.8m <sup>2</sup> (4.4sq)
GARAGE:	21.6m <sup>2</sup> (2.0sq)
ALFRESCO:	5.8m <sup>2</sup> (0.6sq)
PORCH:	308.3m <sup>2</sup> (33.2sq)
<b>TOTAL:</b>	

**STAIR NOTE:**  
NEW STAIRS BUILT IN ACCORDANCE WITH THE REQUIREMENTS OF NCC 2022 PART H5D2.

RISERS= MAX-190mm  
MIN- 115mm  
GOING= MAX- 355mm  
MIN- 250mm  
2R + G= MAX- 700mm  
MIN- 550mm



**MECHANICAL VENTILATION:**  
A MECHANICAL VENTILATION SYSTEM COMPLYING WITH AS 1668.2 & AS / NZS 3666.1 MUST BE INSTALLED TO ANY HABITABLE ROOM WHICH DOES NOT HAVE NATURAL VENTILATION COMPLYING WITH PART H4D7 OF THE NCC 2022.

**WC DOOR NOTE:**  
INWARD SWINGING WC DOORS TO BE READILY REMOVABLE FROM THE OUTSIDE OF THE SANITARY COMPARTMENT IN ACCORDANCE WITH PART H4D5 OF THE NCC 2022.

⊕ DENOTES THE LOCATION OF **SMOKE ALARMS** IN ACCORDANCE WITH PART H3D6 OF THE NCC. SMOKE ALARMS MUST COMPLY WITH AS 3786.



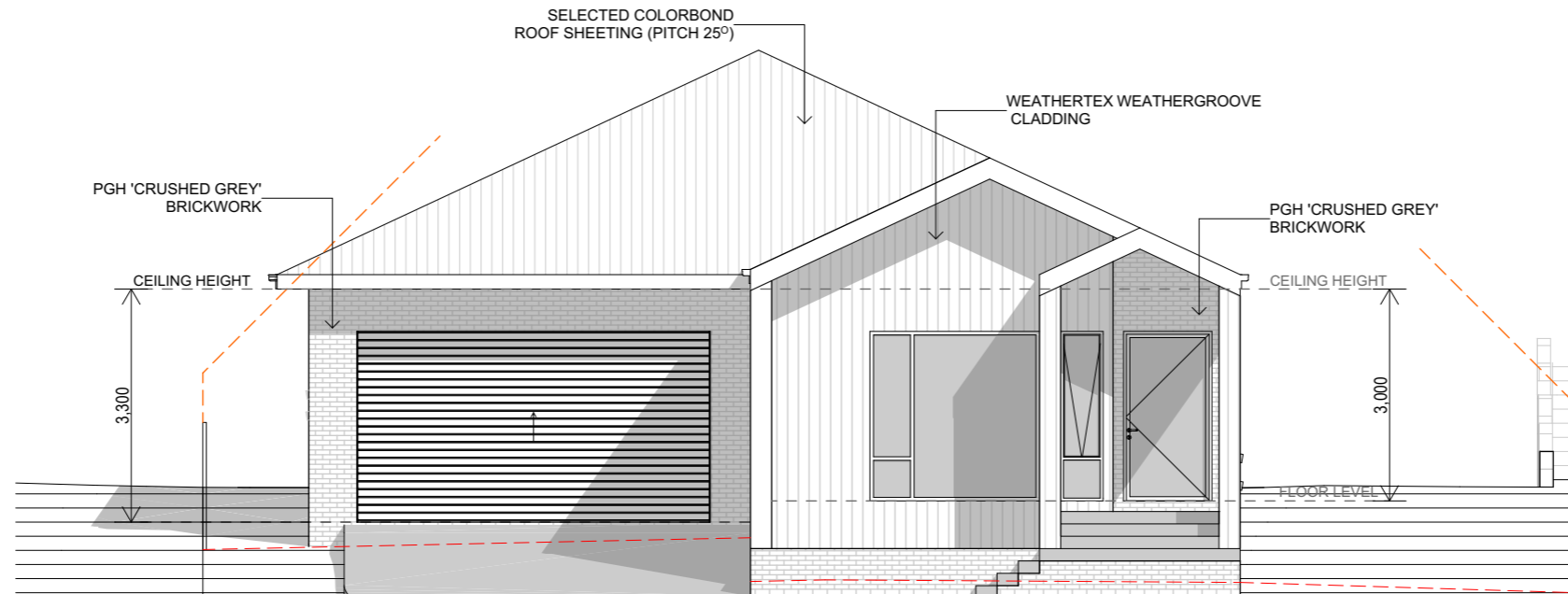
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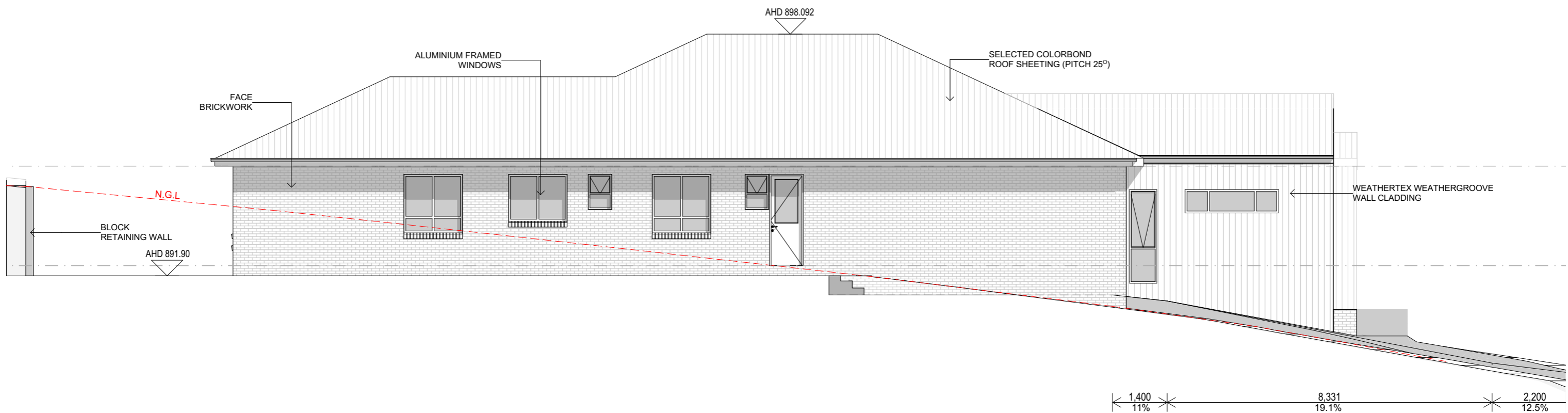
No.	Description	Date
Amendments		
Scale:	AS NOTED @ A3.	Drawn: J.B. Date: 3/11/2023

Project:	PROPOSED NEW RESIDENCE AT LOT 208 CENTENNIAL DRIVE ORANGE NSW 2800
Title:	FLOOR PLANS
Client:	CONTEMPORARY HOMES

Job No.	23-061
Dwg No.	01
Issue	
Drawings in set:	09
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**EAST ELEVATION**  
SCALE 1:100



**SOUTH ELEVATION**  
SCALE 1:100



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No.	Description	Date
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Project:	PROPOSED NEW RESIDENCE AT LOT 208 CENTENNIAL DRIVE ORANGE NSW 2800
Title:	ELEVATIONS
Client:	CONTEMPORARY HOMES

Job No.	23-061
Dwg No.	02
Drawings in set:	09
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**BASIX**  
COMPLIANCE ASSESSMENT DETAILS

**WATER**

FIXTURES (MIN.)  
SHOWER HEAD RATING = 3 STAR  
TOILET RATING = 3 STAR  
KITCHEN TAPS RATING = 3 STAR  
BATHROOM BASIN TAPS RATING = 3 STAR

ALTERNATIVE WATER  
- THE APPLICANT MUST MAKE PROVISION TO CONNECT THE DEVELOPMENT TO THE PLOUGHMANS VALLEY SWH SCHEME RETICULATED ALTERNATIVE WATER SUPPLY SYSTEM.  
- THE APPLICANT MUST CONNECT THE RETICULATED ALTERNATIVE WATER SUPPLY SYSTEM TO: ALL TOILETS IN THE DEVELOPMENT; AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT

**THERMAL COMFORT**

FLOOR  
CONCRETE SLAB ON GROUND

EXTERNAL WALL  
BRICK VENEER  
ADDITIONAL INSULATION: R2.26 (OR 2.8 INCLUDING CONSTRUCTION)

FRAMED (WEATHERBOARD CLAD)  
ADDITIONAL INSULATION: R2.4 (OR 2.8 INCLUDING CONSTRUCTION)

INTERNAL WALL SHARED WITH GARAGE  
ADDITIONAL INSULATION: R1.14 (OR 1.5 INCLUDING CONSTRUCTION)

CEILING & ROOF  
FLAT CEILING / PITCHED ROOF  
CEILING: R2.2 (UP); ROOF: FOIL BACKED BLANKET (55MM) UNVENTILATED; DARK (SA>0.70)

GLAZING  
ALUMINIUM FRAME, DOUBLE GLAZED (AIR), CLEAR

**ENERGY**

HOT WATER  
GAS INSTANANEOUS - 5 STAR (MIN.)

HEATING AND COOLING  
SINGLE PHASE A/C 2.5 - 3.0 EER (MIN.)

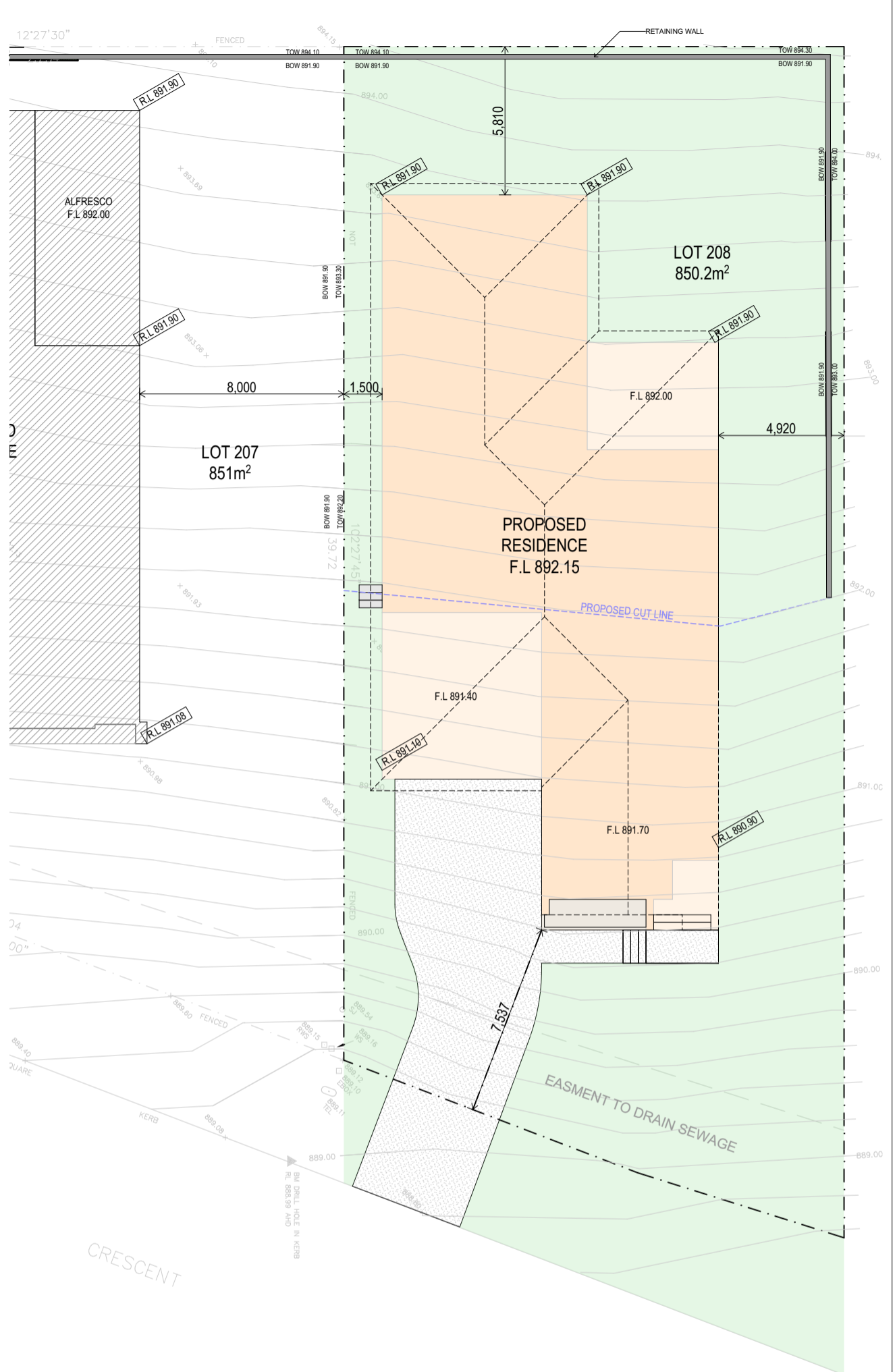
HEATING AND COOLING SYSTEM TO BE DAY / NIGHT ZONED, BETWEEN LIVING AND BEDROOM AREAS.

VENTILATION  
THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:  
KITCHEN & AT LEAST 1 BATHROOM - INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF

ALTERNATIVE ENERGY  
THE APPLICANT MUST ENSURE THAT THE PRIMARY TYPE OF ARTIFICIAL LIGHTING IS FLUORESCENT OF LED IN EACH OF THE FOLLOWING ROOMS: AT LEAST 5 BEDROOMS/STUDY; AT LEAST 2 LIVING/DINING ROOMS; THE KITCHEN; THE LAUNDRY; ALL HALLWAYS

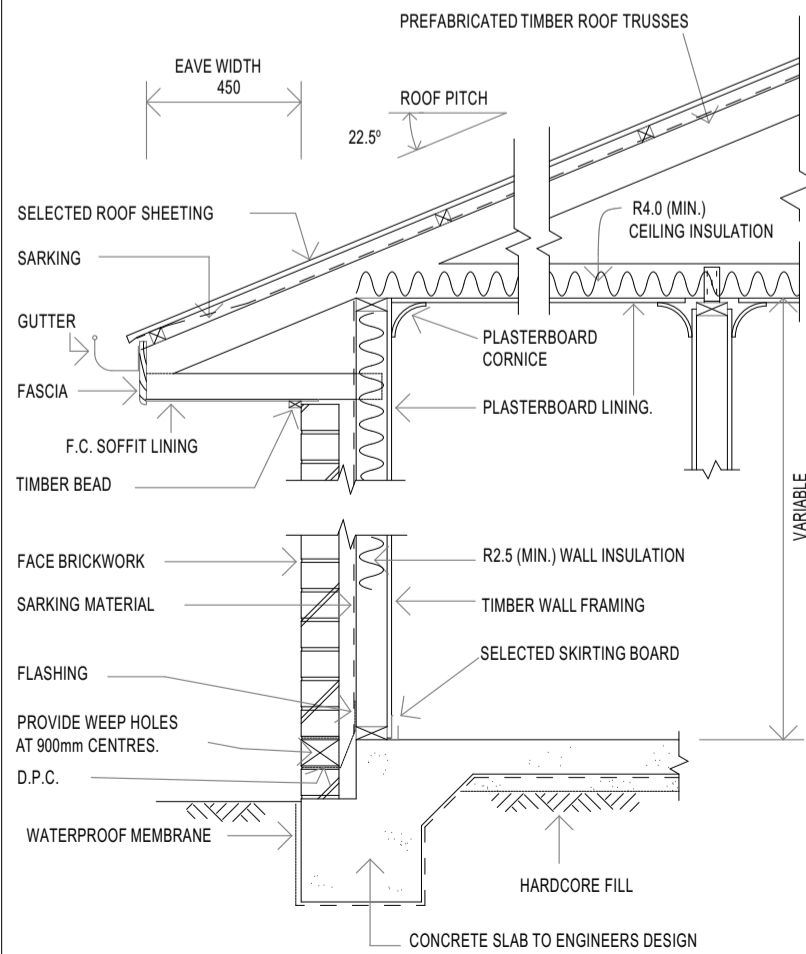
OTHER  
THE APPLICANT MUST INSTALL A GAS COOKTOP AND ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING

THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT



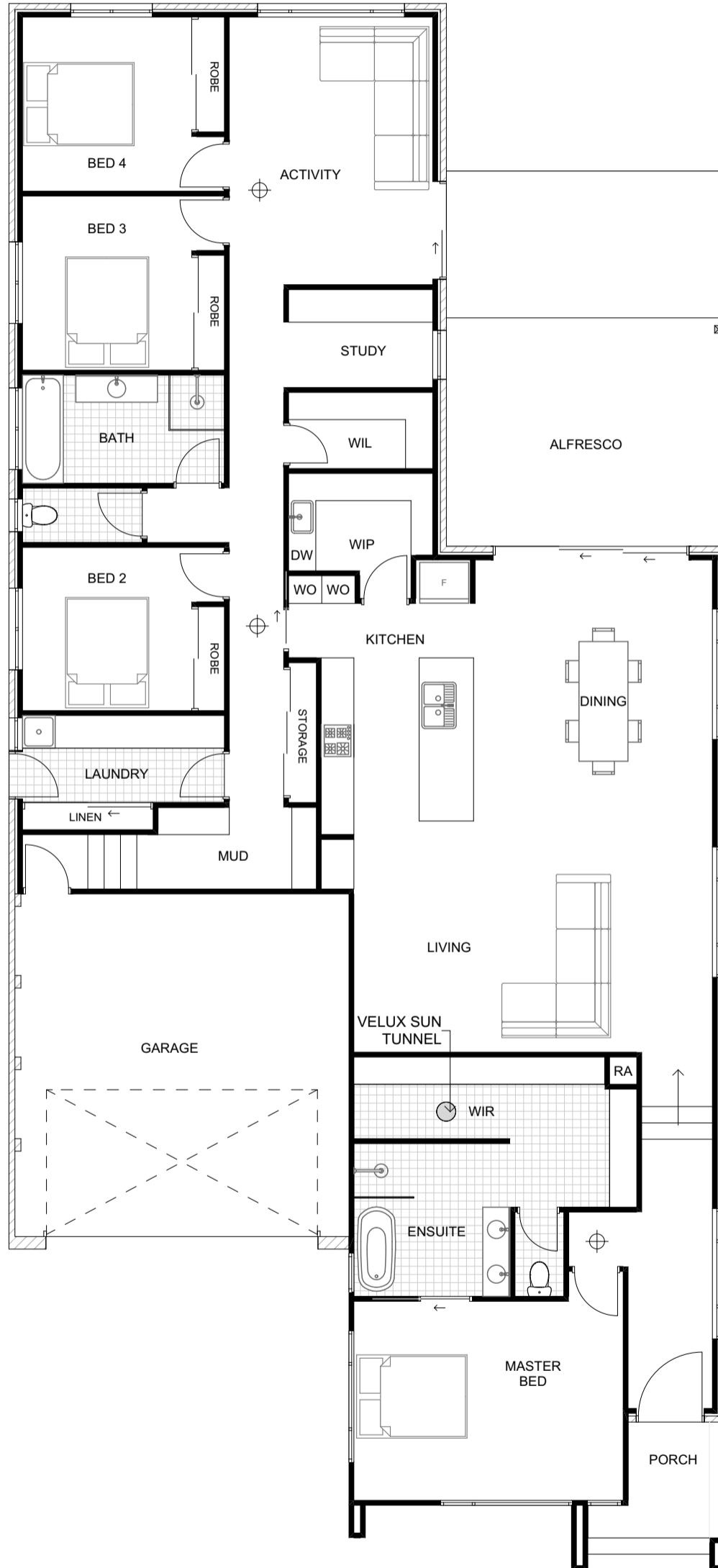
**TYPICAL DETAIL**  
SCALE - 1:20

**SITE PLAN**  
SCALE 1:200



Driveway access will comply with AS/NZS 2890.1:2004, Parking facilities, Part 1: Off-street car parking	<b>LEGEND</b>
<b>NOTE:</b> ALL FINISHED SURFACE LEVELS ARE TO FALL AWAY FROM THE RESIDENCE TO PREVENT THE ENTRY OF SURFACE WATER.	875.00 EXISTING NATURAL GROUND R.L.
<b>CLOTHES LINE NOTE:</b> CLOTHES LINE TYPE & LOCATION TO BE CONFIRMED WITH OWNER	875.00 PROPOSED FINISHED GROUND R.L.
	<b>MECHANICAL VENTILATION:</b> A MECHANICAL VENTILATION SYSTEM COMPLYING WITH AS 1668.2 & AS / NZS 3666.1 MUST BE INSTALLED TO ANY HABITABLE ROOM WHICH DOES NOT HAVE NATURAL VENTILATION COMPLYING WITH PART H4D7 OF THE NCC 2022.





**ELECTRICAL PLAN**  
SCALE 1:100



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No.	Description	Date
Amendments		
Scale:	AS NOTED @ A3	Drawn: J.B. Date: 3/11/2023

Project:	PROPOSED NEW RESIDENCE AT LOT 208 CENTENNIAL DRIVE ORANGE NSW 2800
Title:	<b>ELECTRICAL PLAN</b>
Client:	CONTEMPORARY HOMES

Job No.	<b>23-061</b>
Dwg No.	<b>06</b>
Issue.	
Drawings in set:	<b>09</b>
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<b>WINDOW NO.</b>	D1 - 2118	D2 - 2136	W1 - 2406	W2 - 2424	W3 - 0624	W4 - 2407	W5 - 0906
<b>W x H SIZE</b>	1,800x2,340	3,600x2,100	600x2,400	2,400x2,400	2,400x600	700x2,400	600x900
<b>FRAME</b>	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium
<b>OPENING</b>	Sliding Door	Sliding Door	Awning	Awning	Awning	Awning	Awning
<b>GLAZING</b>	Double / Clear	Double / Clear	Double / Clear	Double / Clear	Double / Clear	Double / Clear	Double / Clear
<b>EXTERNAL VIEW</b>							

<b>WINDOW NO.</b>	W6 - 1515	W7 - 0906	W8 - 1215	W9 - 1515	W10 - 1515
<b>W x H SIZE</b>	1,500x1,500	600x900	1,500x1,200	1,500x1,500	1,500x1,500
<b>FRAME</b>	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium
<b>OPENING</b>	Awning	Awning	Awning	Awning	Awning
<b>GLAZING</b>	Double / Clear	Double / Clear	Double / Clear	Double / Clear	Double / Clear
<b>EXTERNAL VIEW</b>					

<b>WINDOW NO.</b>	W11 - 1827	W12 - 1809	W13 - 2124	W14 - 2124	W15 - 2124
<b>W x H SIZE</b>	2,700x1,800	900x1,800	2,400x2,100	2,400x2,100	2,400x2,100
<b>FRAME</b>	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium
<b>OPENING</b>	Awning	Awning	Awning	Awning	Awning
<b>GLAZING</b>	Double / Clear	Double / Clear	Double / Clear	Double / Clear	Double / Clear
<b>EXTERNAL VIEW</b>					

## WINDOW SCHEDULE

SCALE 1:1

<b>GENERAL</b>	
<ul style="list-style-type: none"> <li>- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.</li> <li>- DO NOT SCALE FROM DRAWING. IF IN DOUBT ASK.</li> <li>- ALL DIMENSIONS AND LEVELS ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.</li> <li>- IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY.</li> <li>- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS.</li> <li>- THE CONSTRUCTION OF ANY STAIRS &amp; BALUSTRADES SHALL COMPLY WITH PART 3.9.1 OF THE NCC</li> <li>- ALL STRUCTURAL ELEMENTS ARE TO BE DESIGNED BY A PRACTISING STRUCTURAL ENGINEER.</li> <li>- CONCRETE SLAB &amp; FOOTINGS TO BE DESIGNED IN ACCORDANCE WITH AS2870.</li> <li>- ALL TIMBER USED IN THE DEVELOPMENT IS TO BE STRICTLY IN ACCORDANCE WITH THE PROVISIONS OF AS1684. NATIONAL TIMBER FRAMING CODE. UNLESS A CERTIFICATE FROM A PRACTISING STRUCTURAL ENGINEER IS SUBMITTED TO COUNCIL CERTIFYING THAT THE BUILDING HAS BEEN DESIGNED TO WITHSTAND THE MOST ADHERE COMBINATION OF LOADS TO WHICH IT WILL BE SUBJECTED.</li> </ul>	
<b>STATUTORY REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC. CONDITIONS IMPOSED BY THE LOCAL AUTHORITY &amp; THE COMMITMENTS OUTLINED IN THE RELEVANT BASIX CERTIFICATE.</li> <li>- THE BUILDER IS TO COMPLY WITH THE REQUIREMENTS OF THE LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER THE BUILDING WORKS &amp; THE PROVISIONS OF THE HOME BUILDING ACT.</li> <li>- PRIOR TO COMMENCEMENT OF BUILDING WORK, THE BUILDER SHOULD PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF SUBCONTRACTORS, WHERE THE LOCAL AUTHORITY REQUIRES TEMPORARY TOILET TO BE CONNECTED TO SEWER MAINS, THE ADDITIONAL COST SHALL BE TO THE OWNERS EXPENSE, ON COMPLETION THE BUILDER SHALL REMOVE AS REQUIRED.</li> </ul>	
<b>NATIONAL CONSTRUCTION CODE (NCC) REQUIREMENTS:</b>	
<ul style="list-style-type: none"> <li>- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH PART H1D3 OR AS DESIGNED BY A PRACTISING STRUCTURAL ENGINEER.</li> <li>- FOOTINGS AND SLABS SHALL BE IN ACCORDANCE WITH PART H1D4 OR AS DESIGNED BY A PRACTISING STRUCTURAL ENGINEER.</li> <li>- AN APPROPRIATE TERMITE MANAGEMENT SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH PART H1D3 AND MUST COMPLY WITH AS 3660.1.</li> <li>- ALL MASONRY WORK SHALL BE IN ACCORDANCE WITH PART H1D5 AND COMPLY WITH AS 3700 OR AS 4773.1 AND AS 4773.2.</li> <li>- ALL STEEL FRAMING SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH EITHER NASH STANDARD RESIDENTIAL AND LOW-RISE STEEL FRAMING PART 1 AND PART 2, AS 4100 OR AS/NZS 4600.</li> <li>- ALL TIMBER FRAMING SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 1720.1, AS 1720.5, AS 1684 AND/OR AS 1860.2 AS APPROPRIATE.</li> <li>- ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS 1720 AND ERECTED, FIXED AND BRACED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.</li> <li>- ALL STRUCTURAL STEEL MEMBERS SHALL BE DESIGNED BY A PRACTISING STRUCTURAL ENGINEER AND CONSTRUCTED IN ACCORDANCE WITH AS 4100.</li> <li>- ALL ROOF AND WALL CLADDING SHALL BE IN ACCORDANCE WITH PART H1D7.</li> <li>- ALL WINDOWS, GLAZED ASSEMBLIES AND GLAZED DOORS SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH AS 2047 AND AS 1288.</li> <li>- CLASS 1 BUILDING CONSTRUCTION IN A FLOOD HAZARD AREA SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ABCB STANDARD FOR CONSTRUCTION OF BUILDINGS IN FLOOD HAZARD AREAS.</li> <li>- ALL DECKS/BALCONIES ATTACHED TO EXTERNAL WALLS USING A WHALING PLATE SHALL BE IN ACCORDANCE WITH PART H1D11.</li> <li>- ALL PILED FOOTINGS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH AS 2159.</li> <li>- A STORMWATER DRAINAGE SYSTEM SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS / NZS 3600.3.</li> <li>- MAINS POWERED INTERCONNECTED SMOKE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH PART H3D6 AND COMPLY WITH AS 3786.</li> <li>- WATERPROOFING OF WET AREAS SHALL BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND HOUSING PROVISIONS PART 1.2.</li> <li>- IF REQUIRED, ARTIFICIAL LIGHTING SHALL BE IN ACCORDANCE WITH PART H4D6 OR AS/NZS 1680.0.</li> <li>- MECHANICAL VENTILATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH AS 1668.2.</li> <li>- IF REQUIRED, MECHANICAL VENTILATION SHALL BE PROVIDED TO SANITARY COMPARTMENTS, LAUNDRIES, KITCHENS AND BATHROOMS AND SHALL BE IN ACCORDANCE WITH PART H4D7(2).</li> <li>- Pliable BUILDING MEMBRANES INSTALLED TO EXTERNAL WALLS MUST COMPLY WITH AS 4200.1, BE INSTALLED IN ACCORDANCE WITH AS 4200.2, BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER AND HAVE A PERMEABILITY OF NOT LESS THAN 1.14 µg/N.s.</li> <li>- CONDENSATION MANAGEMENT SHALL BE IN ACCORDANCE WITH PART H4D9.</li> <li>- STAIRWAYS AND RAMPS SHALL BE IN ACCORDANCE WITH PART H5D2.</li> <li>- BARRIERS AND HANDRAILS SHALL BE IN ACCORDANCE WITH PART H5D3.</li> <li>- HEATING APPLIANCES AND FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH PART H7D5.</li> <li>- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA AND COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY AND AS 3500 AND BE CARRIED OUT BY A LICENSED PLUMBER.</li> <li>- ALL ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY AND AS 3000 AND BE CARRIED OUT BY A LICENSED ELECTRICIAN.</li> <li>- ALL GAS INSTALLATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY AND BE CARRIED OUT BY A LICENSED GAS FITTER.</li> <li>- INSTALLATION OF WALL AND FLOOR TILES SHALL COMPLY WITH AS 3958.1.</li> <li>- DRIVEWAY ACCESS SHALL COMPLY WITH AS / NZS 2890.1.</li> </ul>	



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Project: PROPOSED NEW RESIDENCE AT LOT 208 CENTENNIAL DRIVE ORANGE NSW 2800		Job No. 23-061
Title: WINDOW SCHEDULE		Dwg No. 07 Issue
Client: CONTEMPORARY HOMES		Drawings in set: 09
Scale: AS NOTED @ A3. Drawn: J.B. Date: 3/11/2023		© Bassmann Drafting Services



